

PB# 90-51

**KINGSWOOD GARDENS
POOL & ACCESSORY BUILDING**

S 72, B 1-7, L1-16

approved 12-19-90

KINGSWOOD GARDENS CONDOS. #90-51
SITE PLAN (RT. 94) (KARTIGANER)

Approved 12/19/90

General Receipt

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

11744
November 20, 1990

Received of Drew A. Hartigener, AIA \$ 25⁰⁰/₁₀₀

Twenty-five and ⁰⁰/₁₀₀ DOLLARS

For Planning Board Application Fee (#90-51)

DISTRIBUTION:

FUND	CODE	AMOUNT
Check # 1707		\$25 ⁰⁰

By Pauline D. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

11745
November 20, 1990

Received of Pauline D. Townsend, Town Clerk \$ 750⁰⁰/₁₀₀

Seven Hundred Fifty and ⁰⁰/₁₀₀ DOLLARS

For Planning Board Site Plan Minorsion (#90-51 (Ecrow))

DISTRIBUTION:

FUND	CODE	AMOUNT
Check # 616		\$750 ⁰⁰

By Susan Jappels
Deputy Comptroller
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

11774
Dec. 7, 1990

Received of Drew Hartigener \$ 100.00

One Hundred and ⁰⁰/₁₀₀ DOLLARS

For P/B Site Plan Application (#90-51)

DISTRIBUTION:

FUND	CODE	AMOUNT
Check # 1734		\$100 ⁰⁰

By Pauline D. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/18/90

PAGE: 1

LISTING OF PLANNING BOARD FEES
Escrow

FOR PROJECT NUMBER: 90-51

NAME: KINGSWOOD GARDNS POOL & ACCESSORY BLD. REPLACEMENT
APPLICANT: KARTIGANER, DREW A.

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
11/20/90	SITE PLAN MINIMUM	PAID		750.00	
12/18/90	P.B. ENGINEER FEES	CHG	283.00		
		TOTAL:	283.00	750.00	-467.00

Please issue a check in the
Amount of \$467.00 To:

Kingswood Garden Condominium Assoc.
114 Kingswood Garden
810 Blooming Grove Tpk.
New Windsor, N.Y. 12553

GAVE TO LARRY 12/20/90

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/20/90

PAGE: 1

LISTING OF PLANNING BOARD FEES
Application

FOR PROJECT NUMBER: 90-51

NAME: KINGSWOOD GARDNS POOL & ACCESSORY BLD. REPLACEMENT
APPLICANT: KARTIGANER, DREW A.

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
11/20/90	APPLICATION FEE	CHG	25.00		
11/20/90	APPLICATION FEE	PAID		25.00	
		TOTAL:	25.00	25.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/20/90

PAGE: 1

LISTING OF PLANNING BOARD FEES
Approval

FOR PROJECT NUMBER: 90-51

NAME: KINGSWOOD GARDNS POOL & ACCESSORY BLD. REPLACEMENT
APPLICANT: KARTIGANER, DREW A.

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
12/03/90	SITE PLAN APPROVAL	CHG	100.00		
12/03/90	SITE PLAN APPROVAL	PAID		100.00	
		TOTAL:	100.00	100.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/20/90

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 90-51

NAME: KINGSWOOD GARDNS POOL & ACCESSORY BLD. REPLACEMENT
APPLICANT: KARTIGANER, DREW A.

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	11/20/90	MUNICIPAL HIGHWAY	/ /	
ORIG	11/20/90	MUNICIPAL WATER	11/21/90	APPROVED
ORIG	11/20/90	MUNICIPAL SEWER	/ /	
ORIG	11/20/90	MUNICIPAL SANITARY	11/21/90	APPROVED
ORIG	11/20/90	MUNICIPAL FIRE	11/25/90	APPROVED
ORIG	11/20/90	PLANNING BOARD ENGINEER	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/20/90

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 90-51

NAME: KINGSWOOD GARDNS POOL & ACCESSORY BLD. REPLACEMENT
APPLICANT: KARTIGANER, DREW A.

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
11/28/90	P.B. APPEARANCE	L.A./NEG. DEC.
11/28/90	ABOVE CONTINUED	APPROVED

November 30, 1990

**Drew A.
Kartiganer**

Architecture
Interior Design
Planning

Town of New Windsor Planning Board
555 Windsor Avenue
New Windsor, New York 12553

ATTENTION: **MR. CARL SCHIEFER**
Chairman, Planning Board

PROJECT: **Pool and Accessory Building,
replacement and construction for
KINGSWOOD GARDENS CONDOMINIUM
ASSOCIATION**

Dear Sir,

Attached please find ten (10) copies of the proposed PROJECT revised in accordance with your engineer's comments of 28 November, 1990.

Specific reference is made to item #3 on page #2 requesting a note with regard to protection of the Silver Stream water course. This note has been incorporated on the drawings, in addition to a location for your signature granting Site Plan approval.

We appreciate the Board's efforts on behalf of this Project.

Sincerely Yours,

Drew A. Kartiganer/hs

DREW A. KARTIGANER, AIA
Architect

DAK:hs

cc: Mr. Howard Rogers, Kingswood Gardens
Encl. a/s

KING1203.PB
di3/9/2

555 Blooming Grove Tpk.
Newburgh, N.Y. 12550
914-562-4499

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 25 November 1990
SUBJECT: Kingswood Gardens Pool Site Plan


PLANNING BOARD REFERENCE NUMBER: PB-90-51
DATED: 20 November 1990

FIRE PREVENTION REFERENCE NUMBER: FPS-90-106

A review of the above referenced subject site plan was conducted on 21 November 1990.

This site plan is acceptable.

PLANS DATED: 12 November 1990; Revision 3.


Robert F. Rodgers; CCA
Fire Inspector

RR:mr
Att.

✓
CC: M.E.

11-21-91

90-51
NOV 20 1990
Orig

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR, SANITARY INSP.
D.O.T., O.C.H., O.C.P., D.P.W., ~~SEWER~~, SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

Dew A. Kartigane for the building or subdivision of
Kingswood Gardens has been

reviewed by me and is approved ☒

~~disapproved~~ _____

~~If disapproved, please list reason~~ _____

Will not interfere with the complexes service

HIGHWAY SUPERINTENDENT

[Signature]
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

CC: H.E.

90-51

NOV 20 1990

Orig.

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR, ~~SEWER INSPECTOR~~
D.O.T., O.C.H., O.C.P., D.P.W., WATER, SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site ~~Approval~~ Pool

subdivision _____ as submitted by

Drew A. Kartiganer for the building or subdivision of
Kingswood Gardens Condo. has been

reviewed by me and is approved ☒

disapproved _____

If disapproved, please list reason _____

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

Lyman D. Marten Jr.

SANITARY SUPERINTENDENT

November 21, 1990
DATE

CC: M.E.

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NOV 20 1988

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

(This is a two-sided form)

Date Received _____
Meeting Date _____
Public Hearing _____
Action Date _____
Fees Paid _____

APPLICATION FOR SITE PLAN, ~~SUBDIVISION PLAN,~~
~~OR LOT LINE CHANGE APPROVAL~~

POOL & ACCESSORY BUILDING REPLACEMENT

1. Name of Project CONSTRUCTION FOR KINGSWOOD GARDENS CONDOMINIUMS
2. Name of Applicant DREW A. KAPLANER Phone 562 4499
Address 555 BLOOMING GROVE TPK, NEW WINDSOR NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record KINGSWOOD GARDEN CONDOMINIUM ASSOCIATION Phone 562.4115
Address 114 KINGSWOOD GARDEN
810 BLOOMING GROVE TPK NEW WINDSOR NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan D.A. KAPLANER Phone 562-4499
Address 555 BLOOMING GROVE TPK / NW 1 NY 12553
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney NA Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning Board Meeting DREW A. KAPLANER Phone 562 4499
(Name)
7. Location: On the NORTH side of BLOOMING GROVE TPK
11-360' feet WEST OF
(Street) (Direction)
of FORGE HWY ROAD
(Street)
8. Acreage of Parcel 4.2 ACRES 9. Zoning District R-4
10. Tax Map Designation: Section 12 Block 1 thru 1 Lot 1 thru 16
11. This application is for SITE PLAN APPROVAL

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? NO

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership

Section 12 Block Au Lot(s) Au 1

Au Block & lots

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT

(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

_____ being duly sworn, deposes and says that he resides at _____ in the County of _____ and State of _____ and that he is (the owner in fee) of _____ (Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized _____ to make the foregoing application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

15th day of November 1992

May F. Benedict

Notary Public

MAY F. BENEDICT

Notary Public, State of New York

No. 4764738

Qualified in Orange County

My Commission Expires

May 31, 1992

(Owner's Signature)

David A. Kautz

(Applicant's Signature)

APPLICANT

(Title)

PROXY STATEMENT

for submittal to the

TOWN OF NEW WINDSOR PLANNING BOARD

MR. HOWARD ROGERS, PRESIDENT, deposes and says that he
resides at 18 KINGSWOOD GARDENS.
(Owner's Address)

in the County of ORANGEand State of NEW YORK

and that he is the owner ~~in fee~~ of REPRESENTATIVE FOR
KINGSWOOD GARDENS CONDOMINIUM ASSOCIATION

which is the premises described in the foregoing application and

that he has authorized DREW A. KARTICANER, AIA, ARCHITECT
to make the foregoing application as described therein.

Date: 11/12/90

Howard Rogers
(Owner's Signature)

Linda M. Marasco
(Witness' Signature)

Appendix C

State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR DREW A. KARTIGANER, ARCHITECT		2. PROJECT NAME POOL & ACCESSORY BUILDING REPLACEMENT TO KIVENDO GARDEN CONDOMINIUM	
3. PROJECT LOCATION: Municipality <u>NEW WINDSOR</u> County <u>ORANGE</u>			
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>810 BLOOMING GROVE TURNPIKE</u> <u>NEW WINDSOR, NY 12553</u>			
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration			
6. DESCRIBE PROJECT BRIEFLY: <u>REMOVE EXISTING POOL & ACCESSORY BUILDINGS.</u> <u>& REPLACE WITH NEW POOL & ACCESSORY BUILDINGS</u>			
7. AMOUNT OF LAND AFFECTED: Initially <u>3/4</u> <u>MAX</u> acres Ultimately <u>3/4</u> acres			
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly <u>BASED ON EXISTING USE / GRANDFATHER / FOR PROJECT.</u>			
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe: <u>MULTIFAMILY RESIDENTIAL &</u> <u>RETAIL</u>			
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <u>BUILDING PERMIT / NEW WINDSOR</u> <u>ORANGE COUNTY BOARD OF HEALTH</u> <u>NEW WINDSOR PLANNING BOARD / SITE PLAN APPROVAL</u>			
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency name and permit/approval <u>PRE-EXISTING USE FOR COMPLEX & PROJECT</u>			
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor name: <u>DREW A. KARTIGANER</u>		Date: <u>11/15/90</u>	
Signature: <u>Drew A. Kartiganer</u>			

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

90 - 51

NOV 2 1990

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.127 If yes, coordinate the review process and use the FULL EAF.
☐ Yes ☐ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.87 If No, a negative declaration may be superseded by another involved agency.
☐ Yes ☐ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
☐ Yes ☐ No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

 Name of Lead Agency

 Print or Type Name of Responsible Officer in Lead Agency

 Title of Responsible Officer

 Signature of Responsible Officer in Lead Agency

 Signature of Preparer (If different from responsible officer)

 Date

NOV 20 1990

TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

ITEM

1. ☒ Site Plan Title
2. ☒ Applicant's Name(s)
3. ☒ Applicant's Address(es)
4. ☒ Site Plan Preparer's Name
5. ☒ Site Plan Preparer's Address
6. ☒ Drawing Date
7. ☒ Revision Dates
8. ☒ AREA MAP INSET
9. ☒ Site Designation
10. ☒ Properties Within 500 Feet of Site
11. ☒ Property Owners (Item #10)
12. ☒ PLOT PLAN
13. ☒ Scale (1" = 50' or lesser)
14. ☒ Metes and Bounds
15. ☒ Zoning Designation
16. ☒ North Arrow
17. ☒ Abutting Property Owners
18. ☒ Existing Building Locations
19. ☒ Existing Paved Areas
20. ☒ Existing Vegetation
21. ☒ Existing Access & Egress

PROPOSED IMPROVEMENTS

22. ☒ Landscaping
23. ☒ Exterior Lighting
24. ☒ Screening
25. ☒ Access & Egress
26. ☒ Parking Areas
27. ☒ Loading Areas
28. ☒ Paving Details
(Items 25-27)

29. ☒ Curbing Locations
30. ☒ Curbing Through Section
31. ☒ Catch Basin Locations *excm*
32. ☒ Catch Basin Through Section
33. ☒ Storm Drainage
34. ☒ Refuse Storage
35. ☒ Other Outdoor Storage
36. ☒ Water Supply
37. ☒ Sanitary Disposal Sys.
38. ☒ Fire Hydrants
39. ☒ Building Locations
40. ☒ Building Setbacks
41. ☒ Front Building Elevations
42. ☒ Divisions of Occupancy
43. ☒ Sign Details
44. ☒ BULK TABLE INSET
45. ☒ Property Area (Nearest 100 sq. ft.)
46. ☒ Building Coverage (sq. ft.)
47. ☒ Building Coverage (% of Total Area)
48. ☒ Pavement Coverage (Sq. Ft.)
49. ☒ Pavement Coverage (% of Total Area)
50. ☒ Open Space (Sq. Ft.)
51. ☒ Open Space (% of Total Area)
52. ☒ No. of Parking Spaces Proposed.
53. ☒ No. of Parking Required.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: Deen A. Katz
Licensed Professional

Date: 11/15/90

November 15, 1990

Town of New Windsor Planning Board
555 Windsor Avenue
New Windsor, New York 12553

Drew A.
Kartiganer

Architecture
Interior Design
Planning

ATTENTION: Mr. Carl Schiefer, Chairman

PROJECT: Pool and Accessory Building
replacement and construction for
KINGSWOOD GARDENS CONDOMINIUM
ASSOCIATION

Dear Sir,

The purpose of this submittal is to request **Site Plan Approval** from the Town of New Windsor Planning Board for above mentioned PROJECT. For your information, the scope of the proposed work involves demolition of the existing concrete pool, side walk areas and accessory storage buildings, and the installation of a replacement pool, accessory storage buildings, gazebo, and sidewalk areas.

It should be noted that the basis of this application is the **Pre-existing use of the pool complex** as part of Kingswood Gardens, which is a grandfathered non-conforming use in the R-4 District. As part of this condition, there are no changes proposed in the existing set back limitations, number of parking spaces, or other zoning limitations as currently existing.

Attached to this letter, please find necessary documentation required for Site Plan Submission as follows:

1. 14 Sets of Signed and Sealed Drawing of the Project/
Drawings A-1, A-2, D-1
2. Proxy statement from Mr. Howard Rogers, President of Kingswood Garden Condominium Association, authorizing Drew A. Kartiganer, AIA/ Architect to make this application.
3. Application for Site Plan Approval

555 Blooming Grove Tpk.
Newburgh, N.Y. 12550
914-562-4499

4. Check for \$25.00 for Site Plan review
5. Check for \$750.00 for Town Engineering review escrow account
6. Short Environmental Assessment Form
7. Site Plan Checklist

We thank you for your time. Please feel free to contact me with regard to questions on any of the above information or submittal.

Sincerely yours,

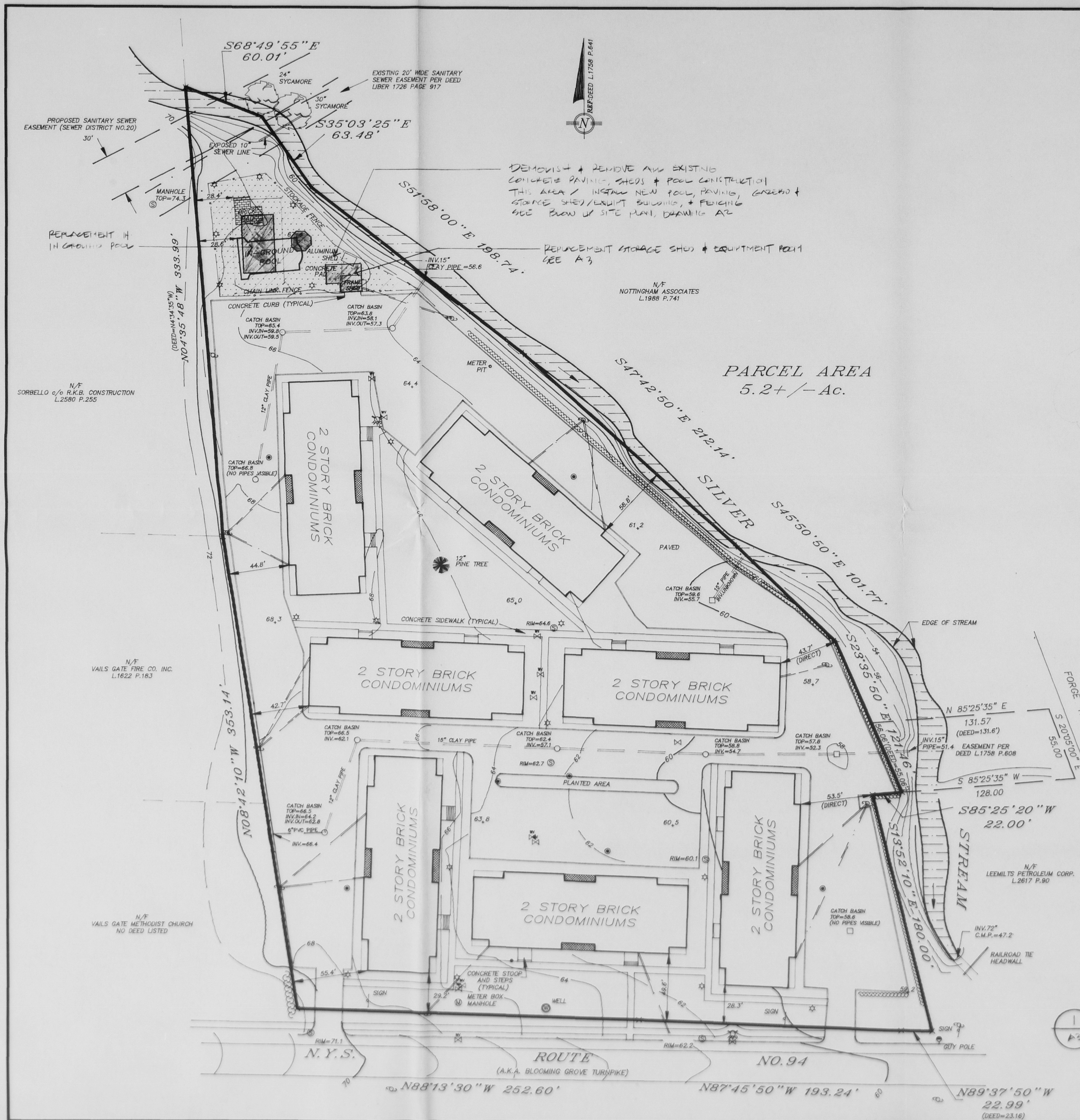


DREW A. KARTIGANER, AIA
ARCHITECT

di392
kingplbd

cc/ Mr. Howard Rogers, Kingswood Gardens Condominium Association

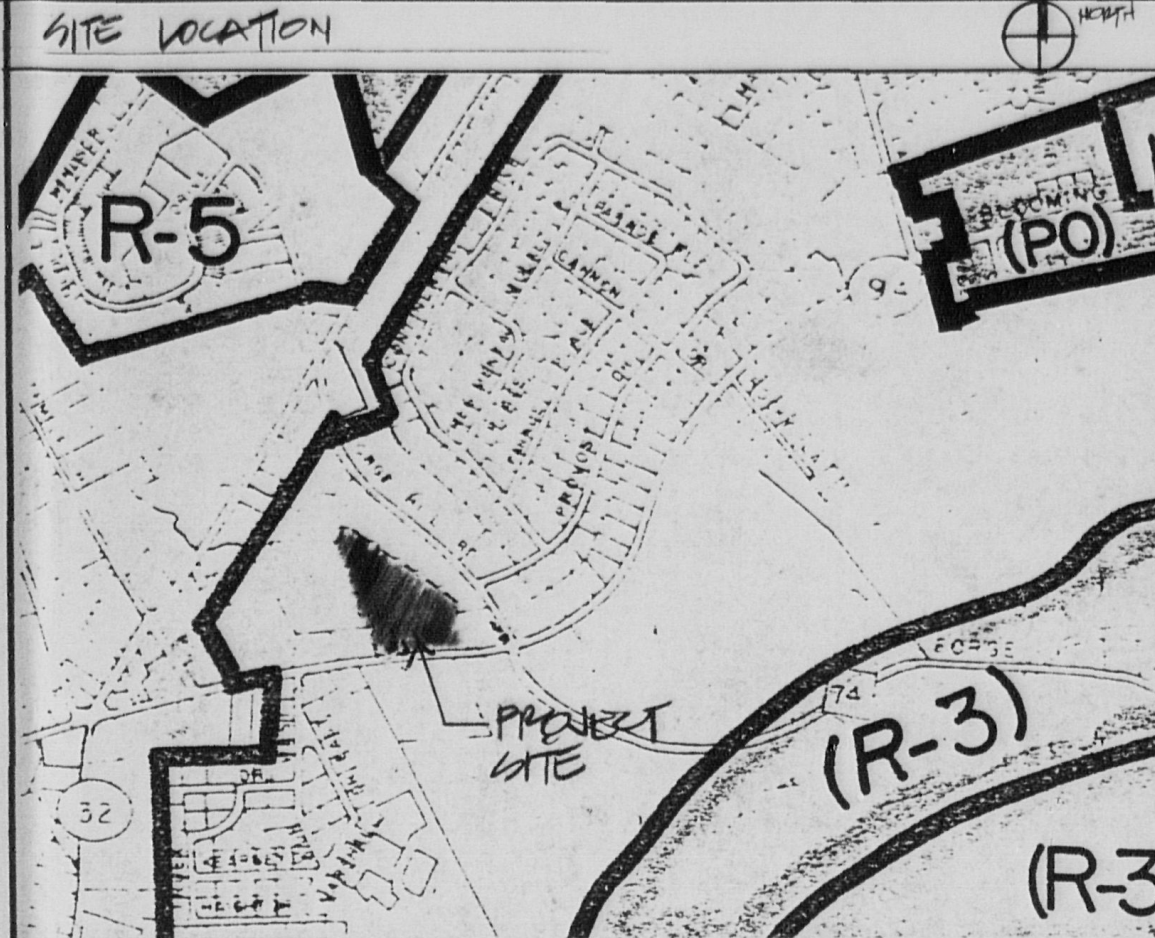
DAK/hs
encl



- GENERAL NOTES AND SPECIFICATIONS:**
1. GENERAL:
 - 1A. CODES: All work is to conform to New York State Uniform Fire Prevention and Building Code, and any other local codes, utilities, ordinances or authorities having jurisdiction.
 - 1B. INSURANCE: The Contractor shall maintain insurance for Workmen's compensation, project liability, and any other insurance as required by the Owner or municipal authorities and shall issue proof of same to the Owner.
 - 1C. PERMITS: Contractor is to apply for and obtain all permits, inspections and pay any and all fees required for the proper completion of the work.
 - 1D. The Contractor shall verify all materials, dimensions and conditions shown on the drawings with the conditions encountered at the site and shall report discrepancies to the Owner and Architect prior to the start of work.
 - 1E. Specification and Drawings indicate finished structure. Builder shall be responsible for construction methods, procedures, and conditions (including safety) unless specified otherwise in the drawings and specifications.
 2. DEMOLITION SITE WORK:
 - 2A. The Contractor is to perform all demolition, site clearing, excavation, filling, grading, drainage, and related items necessary to complete the work indicated on drawings.
 - 2B. Contractor shall take care in any site work to investigate and leave undisturbed any existing below grade construction, utility waste lines or piping and shall cap off electrical service in the area of new and replacement work not shown to be removed.
 - 2C. Contractor is responsible for removal of all demolition debris from the site and disposing of it in a safe and sanitary manner.
 3. POTENTIAL OF STREAM: THERE IS TO BE NO DISTURBANCE / WORK ENCROACHMENT ON THE STREAM SITE OR WATER COURSE AS PART OF THE WORK.

SITE PLAN NOTES

1. SITE PLAN SURVEY INFORMATION BASED ON CERTIFIED "BOUNDARY" LOCATION & TOPOGRAPHICAL SURVEY FOR "KINGSWOOD GARDENS CONDOMINIUMS" PREPARED BY GREIN & HILBERT, P.C. / LAND SURVEYORS DATED 1 APRIL 1990 / JOB NO. 89138
2. THIS DRAWING IS FOR PRECISE LOCATION PURPOSES. REFER TO 1/A2 / PARTIAL SITE PLAN / FOR DETAILED SITE PLAN INFORMATION



SITE INFORMATION

LOCATION : TOWN OF NEW WINDSOR
ORANGE COUNTY, NY

LOT AREA : 6.2 ACRES / (220,512 SQ FT)

ZONING DISTRICT : R-5 (SUBURBAN RESIDENTIAL) *

RECORD OWNER : KINGSWOOD GARDENS CONDOMINIUMS ASSOC
ROUTE 94
NEW WINDSOR, NY 12553

ZONING NOTES / BULK REQUIREMENTS

- THE PROJECT IS AN ACCESSORY USE TO AN EXISTING NON CONFORMING USE
- THE SCOPE OF THE PROJECT WILL BE THE REPLACEMENT OF EXISTING FACILITIES BASED ON AS OF RIGHT CONDITIONS
- EXISTING SET BACK, BUILDING HEIGHT & PARKING PROVISIONS WILL BE MAINTAINED

DRAWING INDEX

A1	OVERALL SITE PLAN, GENERAL NOTES
A2	PARTIAL SITE PLAN, POOL CONCEPT
D1	DEMOLITION PLAN

PLANNING BOARD APPROVAL

THE ATTACHED PLANS HAVE BEEN GRANTED SITE PLAN APPROVAL FROM TOWN OF NEW WINDSOR PLANNING BOARD

CHAIRMAN,
TOWN OF NEW WINDSOR PLANNING BOARD

DATE

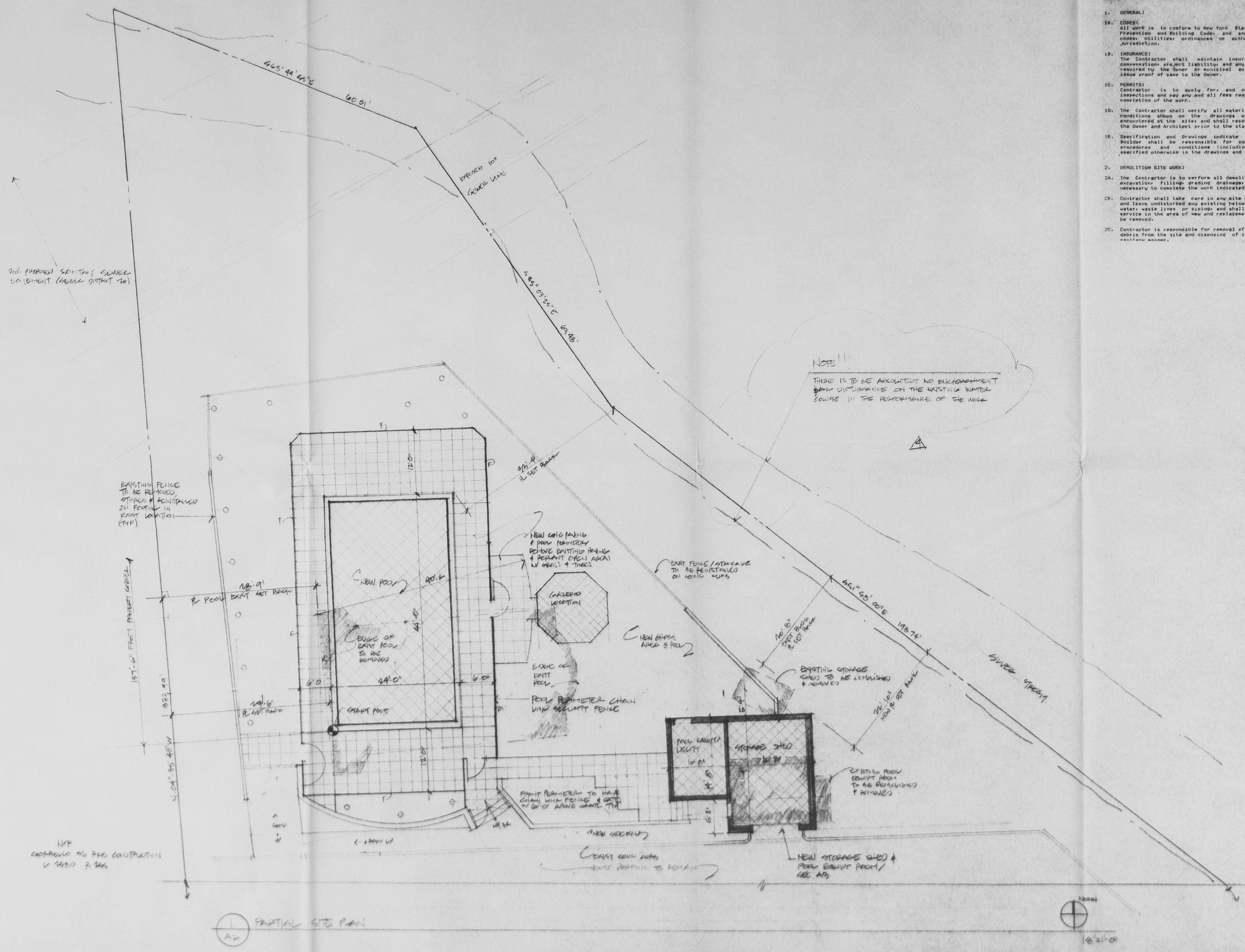
SITE PLAN - APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON **DEC 19 1990**
BY **Drew A. Kartiganer**
DANIEL C. MCGARVILLE
SECRETARY

NO.	DATE	REVISION	BY	FOR
1	11/20/90	PLANNING BOARD APPROVAL	Drew A. Kartiganer	Pool Concept
2	11/20/90	PLANNING BOARD APPROVAL	Drew A. Kartiganer	Pool Concept
3	11/20/90	PLANNING BOARD APPROVAL	Drew A. Kartiganer	Pool Concept

Drew A. Kartiganer, Architect
Architecture, Interior Design, Planning
655 Blooming Grove Turnpike
Newburgh, NY 12550
914-562-4489

Kingswood Gardens Condominiums
Pool Concept
Prepared for:
Kingswood Gardens Condominium Association
Route 94, New Windsor, New York 12550

DATE
11/20/90
PROJECT NO.
60730-03



GENERAL NOTES AND SPECIFICATIONS:

1. GENERAL:
 - 1A. CODES: All work is to conform to New York State Uniform Fire Prevention and Building Code and any other local codes, statutes, ordinances or authorities having jurisdiction.
 - 1B. INSURANCE: The Contractor shall maintain insurance for Workmen's compensation, project liability, and any other insurance as required by the Owner or municipal authorities and shall issue proof of same to the Owner.
 - 1C. PERMITS: Contractor is to apply for, and obtain all permits, inspections and pay any and all fees required for the proper completion of the work.
 - 1D. The Contractor shall verify all materials, dimensions and conditions shown on the drawings with the conditions encountered at the site and shall report discrepancies to the Owner and Architect prior to the start of work.
 - 1E. Specification and Drawings indicate finished structure. Bidder shall be responsible for construction methods, procedures and conditions (including safety) unless specified otherwise in the drawings and specifications.
2. DEMOLITION SITE WORK:
 - 2A. The Contractor is to perform all demolition, site clearing, excavation, filling, grading, drainage and related items necessary to complete the work indicated on Drawings.
 - 2B. Contractor shall take care in any site work to investigate and leave undisturbed any existing below grade construction, water, waste lines or piping, and shall cap off electrical equipment in the area of new and replacement work not shown to be removed.
 - 2C. Contractor is responsible for removal of all demolition debris from the site and disposing of it in a safe and sanitary manner.

NOTE

THERE IS TO BE ABSOLUTELY NO ENCROACHMENT
~~FOR~~ DISTURBANCE ON THE EXISTING WATER
COURSE IN THE PERFORMANCE OF THE WORK

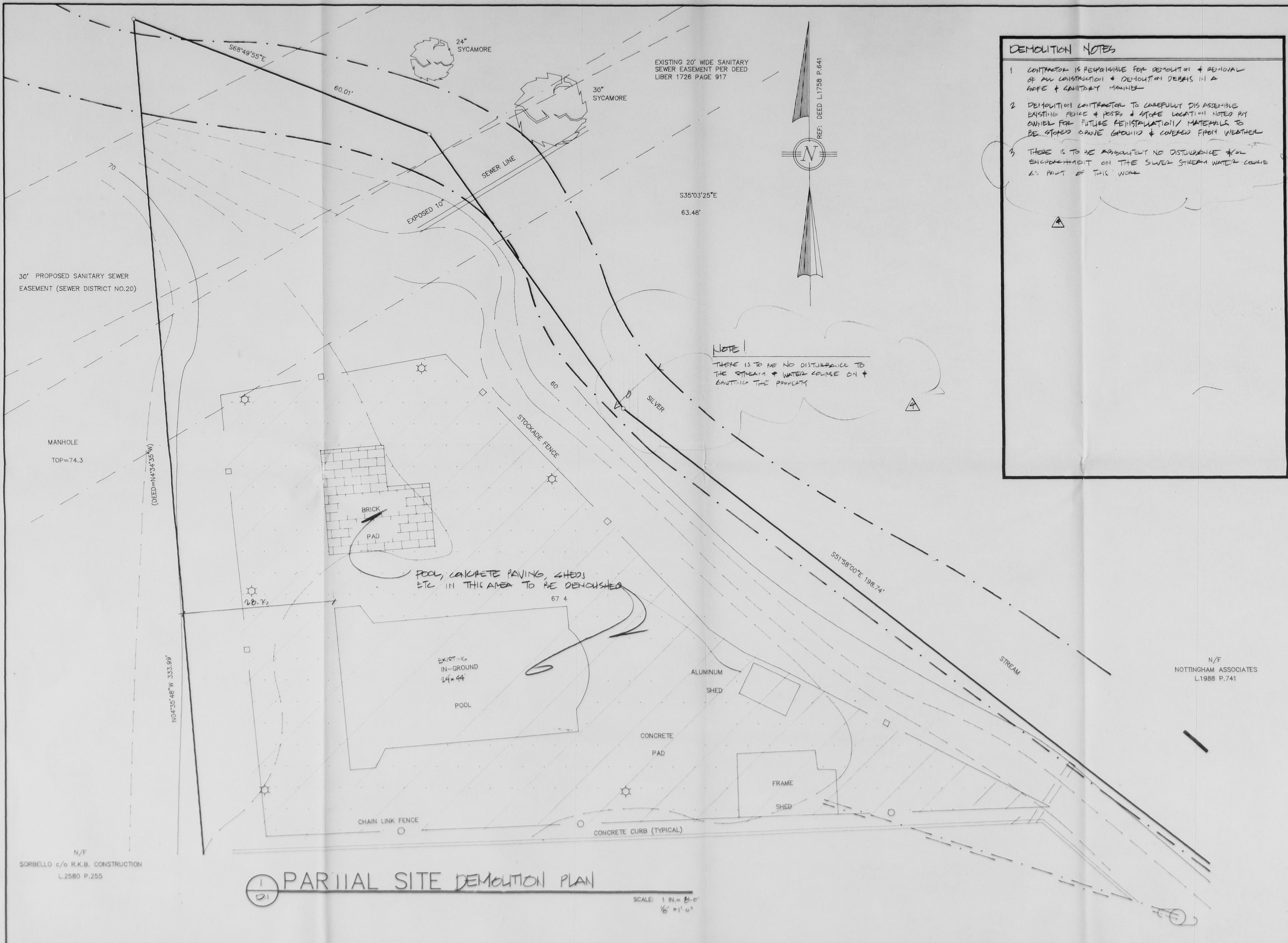
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**Drew A.
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Project: Kingswood Gardens Condominiums

Pool Company: Kingswood Gardens Condominium Association
Route 94 New Windsor, New York 12550

DATE 10/2/90 PROJECT NO. 102
SHEET NO. _____
PROJECT WATER TREATMENT PLANT
SHEET 102



- ### DEMOLITION NOTES
1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL CONSTRUCTION & DEMOLITION DEBRIS IN A SAFE & SANITARY MANNER
 2. DEMOLITION CONTRACTOR TO CAREFULLY DISASSEMBLE EXISTING FENCE & POSTS & STORE LOCATION NOTED BY OWNER FOR FUTURE REINSTALLATION/ MATERIALS TO BE STORED SAME LOCATION & COVERED FROM WEATHER
 3. THERE IS TO BE ABSOLUTELY NO DISTURBANCE TO OR ENCROACHMENT ON THE SILVER STREAM WATER COURSE AS PART OF THIS WORK

PARIAL SITE DEMOLITION PLAN

SCALE: 1 IN. = 20.0'
1/8" = 1' 0"

SITE PLAN
APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON **DEC 19 1990**
BY **DANIEL C. MCCARVILLE**
SECRETARY

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Kingswood Gardens Condominiums
Pool CAMPUS
Prepared for:
Kingswood Gardens Condominium Association
Route 94, New Windsor, New York 12550

DEMOLITION PLAN
Sheet No. **DI**
Date: 11/14/90
Project No: 691020